

Two Lakes Community Development District

Second Supplemental Engineer's Report
Club Property Acquisition

Prepared for
Two Lakes Community Development District
Board of Supervisors
City of Hialeah,
Miami-Dade County, Florida

Prepared by
Alvarez Engineers, Inc.

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Accepted
June 12, 2024

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I. Introduction

Two Lakes Community Development District (the “District” or “CDD,” See Exhibit 1 for Location) intends to purchase from Two Lakes Lennar, LLC (the “Club Owner”) the real property of two clubhouses located within the boundaries of the CDD. The clubhouses are referred hereinafter as “Clubhouse 1” and “Clubhouse 2” and encompass the land and all the improvements within.

Clubhouse 1 is located on Tract “Q” of “AquaBella Section One”, as recorded at PB 172, PG 51 of the Public Records of Miami-Dade County. The physical address of the property is 10401 W 35 Lane, Hialeah, Florida, 33018. The tract is identified as Folio Number 04-2016-006-3900. (Refer to Exhibit 2).

Clubhouse 2 is located on Tract “R2” of “AquaBella North”, as recorded at PB 172, PG 51 of the Public Records of the County. The physical address of the property is 11061 W 34 Way, Hialeah, Florida, 33018. The tract is identified as Folio Number 04-2016-008-7690. (Refer to Exhibit 3).

Together, the real property for Clubhouse 1 and Clubhouse 2 is referred hereinafter as the “Club Property”.

The District intends to issue one or more series of special assessment bonds (the “Series 2024 Bonds”) to finance the purchase of the Club Property. This Second Supplemental Engineer’s Report describes the Club Property and documents its purchase price.

II. The Club Property and Determination of the Purchase Price**a. The Club Property.**

The Club Property consists of the two clubhouse buildings and all related facilities indoor and outdoor, fixtures, improvements and personal property constructed and completed within a 1.93-acre parcel for Clubhouse 1 (Tract “Q”), and a 2.54-acre parcel for Clubhouse 2 (Tract “R2”).

The Club Property includes, but is not limited to, the items listed in Tables 1 and 2 below. (Refer to Exhibits 4 and 5 for depictions of the floor plans and partial site plans).

Table 1 - Clubhouse 1 Description			
Category	Description	Square Footage	Acreage
Property			
Property Address	10401 W 35 Lane, Hialeah, FL 33018		
County Folio No.	04-2016-006-3900		
Legal Description	Tract "Q" of AquaBella Section One, Plat Book 172, Page 51		
	Property Area (Per Plat)	83,912	1.93
Site Facilities			
	53 Parking Spaces (50 Regular + 3 Accessible)	16,860	
	Dumpster	270	
	Pool Equipment Areas (Mechanical / Electrical)	1,060	
	Landscaped Open Areas, Driveways and Paths	35,776	
	Sub-Total Site Facilities	53,966	1.24
Building Facilities			
Outdoor Recreational	Swimming Pool (100 Persons Maximum Occupancy)	4,985	
	Pool Deck No. 1 by Swimming Pool (268 Max. Occupancy)	8,016	

Table 1 - Clubhouse 1 Description			
Category	Description	Square Footage	Acreage
	Spa (4 Persons Maximum Occupancy)	196	
	Pool Deck No. 2 by Spa (87 Persons Maximum Occupancy)	2,588	
	Kids Area (164 Persons Maximum Occupancy)	4,904	
	Sub-Total Outdoor Recreational Facilities	20,689	0.47
Indoor, Air Conditioned	Lobby (64 Persons Maximum Occupancy)	947	
	Exercise Room (20 Persons Maximum Occupancy)	952	
	Kids Room (11 Maximum Occupancy)	165	
	Reception (1 Maximum Occupancy)	74	
	Office (3 Persons Maximum Occupancy)	220	
	Lounge / Meeting / Game Room (131 Maximum Occupancy)	912	
	Serving Area (2 Persons Maximum Occupancy)	196	
	Foyer	394	
	Restrooms, Halls, Storage, Lockers, Mechanical, Electrical	2,350	
	Sub-Total Indoor Air-Conditioned Spaces	6,210	0.14
Roof Covered			
	Covered Terraces (93 Persons Maximum Occupancy)	2,420	
	Covered Entry	627	
	Sub-Total Roof-Covered Spaces	3,047	0.07
Summary of Areas	Site Facilities	53,966	
	Building Facilities	29,946	
	Total Property Area	83,912	1.93

Table 2 - Clubhouse 2 Description			
Category	Description	Sq. Footage	Acreage
Property			
Property Address	11061 W 34 Way, Hialeah, FL 33018		
County Folio No.	04-2016-008-7690		
Legal Description	Tract "R2" of AquaBella Section North, Plat Book 174, Page 1		
	Property Area (Per Plat)	110,712	2.54
Site Facilities			
	64 Parking Spaces (62 Regular + 2 Accessible)	17,640	
	Dumpster	220	
	Pool Equipment Areas (Mechanical / Electrical)	400	
	Landscaped Open Areas, Driveways and Paths	77,011	

Table 2 - Clubhouse 2 Description			
Category	Description	Sq. Footage	Acreage
	Sub-Total Site Facilities	95,271	2.19
Building Facilities			
Outdoor Recreational	Swimming Pool (68 Persons Maximum Occupancy)	3,390	
	Pool Deck (572 Max. Occupancy)	8,580	
	Spa	79	
	Sub-Total Outdoor Recreational Facilities	12,049	0.28
Indoor, Air Conditioned	Social Room (99 Persons Maximum Occupancy)	689	
	Exercise Room (11 Persons Maximum Occupancy)	534	
	Reception / Office (2 Maximum Occupancy)	120	
	Serving Area (2 Persons Maximum Occupancy)	190	
	Foyer (4 Persons Maximum Occupancy)	59	
	Restrooms, Halls, Storage, Lockers, Mechanical, Electrical	875	
	Sub-Total Indoor Air-Conditioned Spaces	2,467	0.06
Roof Covered			
	Covered Terrace (42 Persons Maximum Occupancy)	629	
	Covered Entry	188	
	Covered Secondary Entry	38	
	Storage	70	
	Sub-Total Roof-Covered Spaces	925	0.02
Summary of Areas	Site Facilities	95,271	
	Building Facilities	15,441	
	Total Property Area	110,712	2.54

b. Determination of the Purchase Price.

Section 5.9 of the AquaBella Club, Club Plan, recorded on October 30, 2017, at Miami-Dade County ORB 30737, PG 1811, allows AquaBella Community Association, Inc. (the "HOA") to make an early offer to purchase of the Club Property from the Club Owner. The Board of Directors of the HOA resolved on May 14, 2024, not to purchase the Club Property and instead to facilitate the acquisition of the Club Property by the CDD for a negotiated purchase price of \$30,042,000 (the "HOA Resolution" and the "Negotiated Purchase Price", respectively). Club Owner reports that it intends to sell the Club Property to the CDD for the Negotiated Purchase Price.

III. District Access to the Club Property.

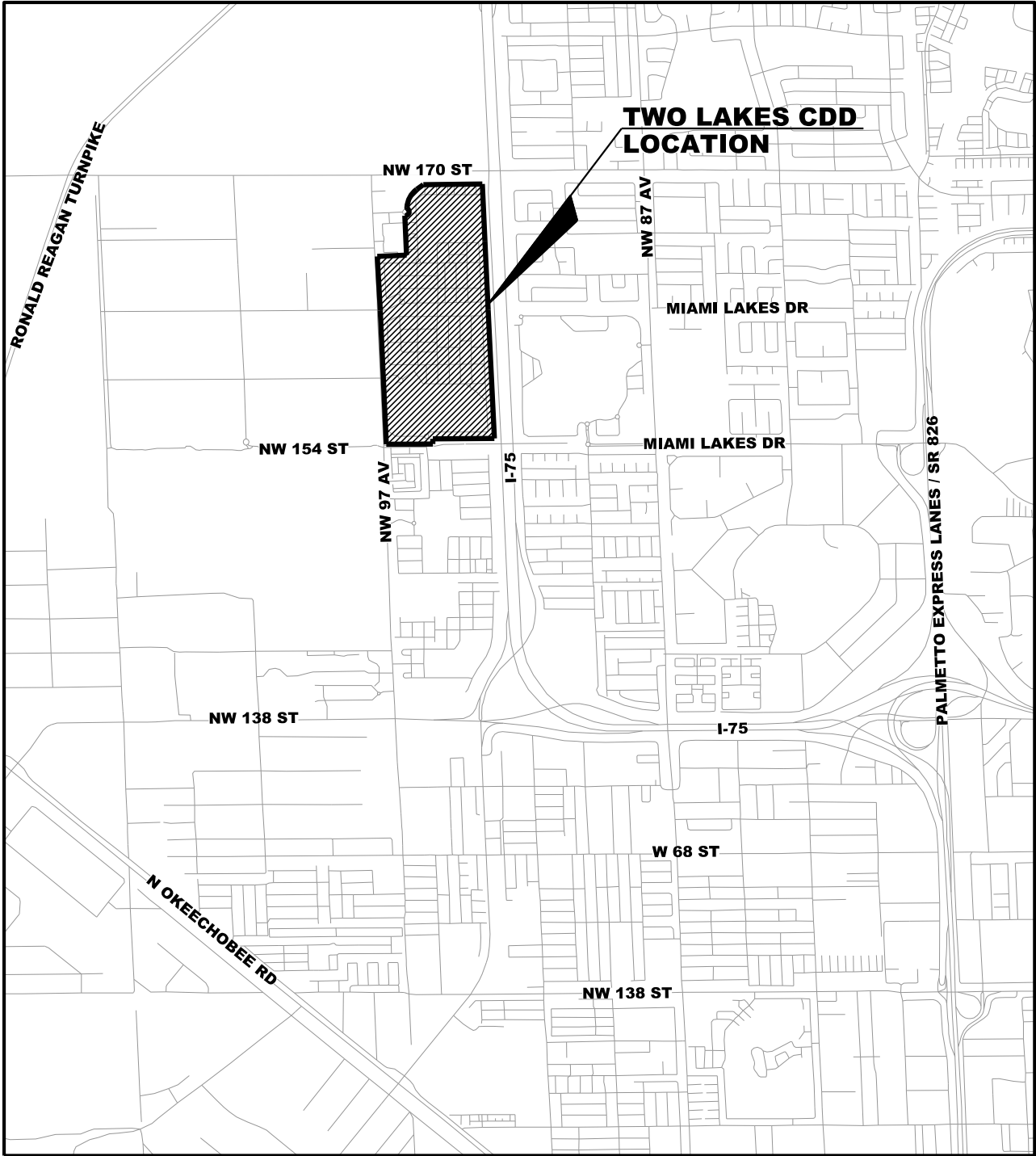
The owner of the private road right of ways that lead to Clubhouse 1 and Clubhouse 2 intends to grant the District a license agreement or similar legal instrument that will permit public access to both clubhouses constituting the Club Property.

IV. Engineer's Certification.

It is our opinion that the benefits to the residents of the CDD derived from the District's purchase and ownership of the Club Property, are equal to or greater than the Negotiated Purchase Price indicated in this report.

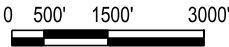
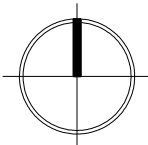
I hereby certify that the foregoing is a true and correct copy of the Second Supplemental Engineer's Report for the Two Lakes Community Development District.

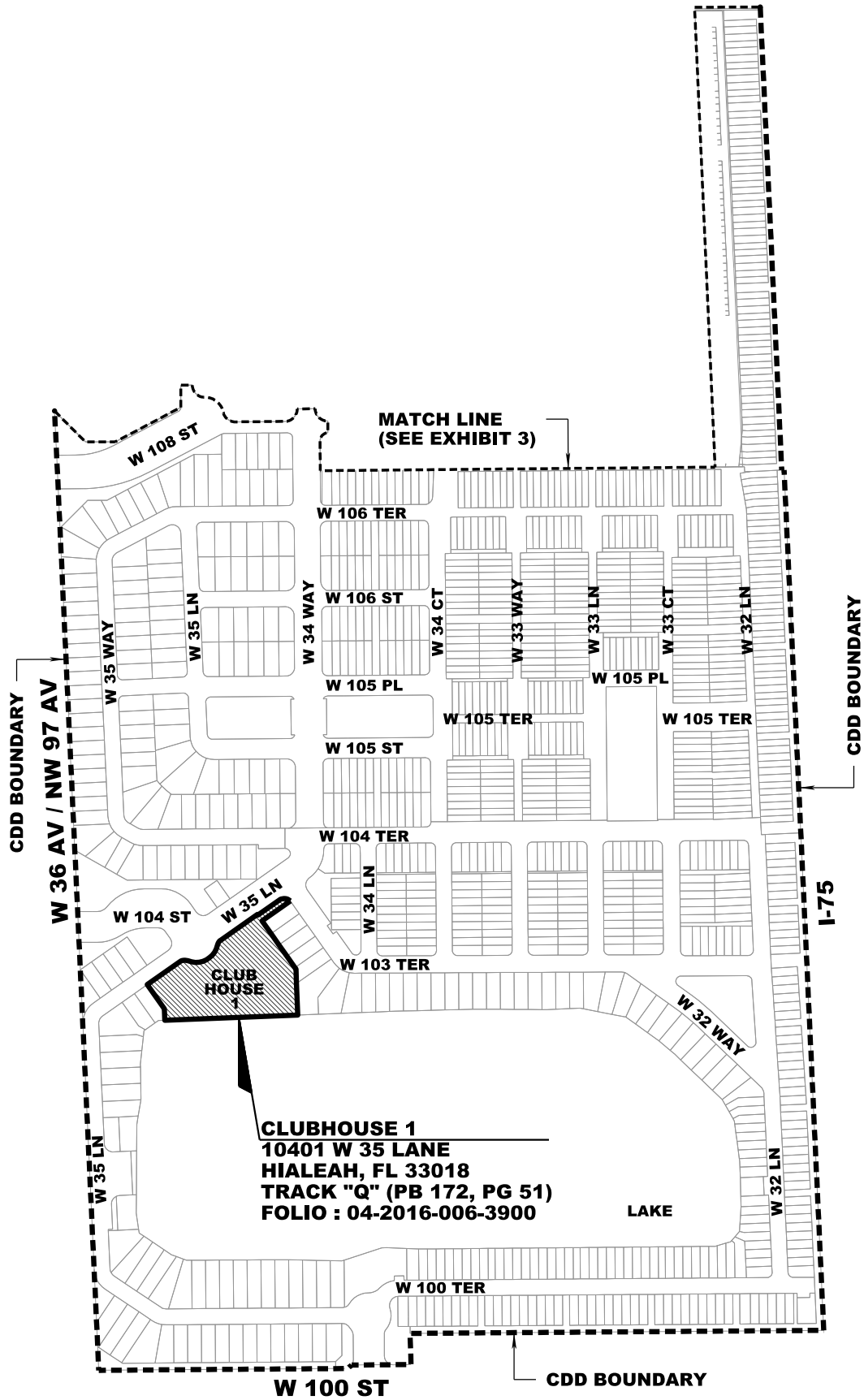
Juan R. Alvarez, PE
Florida Registration No. 38522
Alvarez Engineers, Inc.
June 12, 2024



**TWO LAKES CDD
LOCATION**

ALVAREZ ENGINEERS, INC.
**TWO LAKES CDD
 LOCATION MAP**

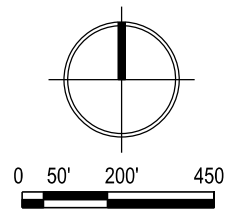


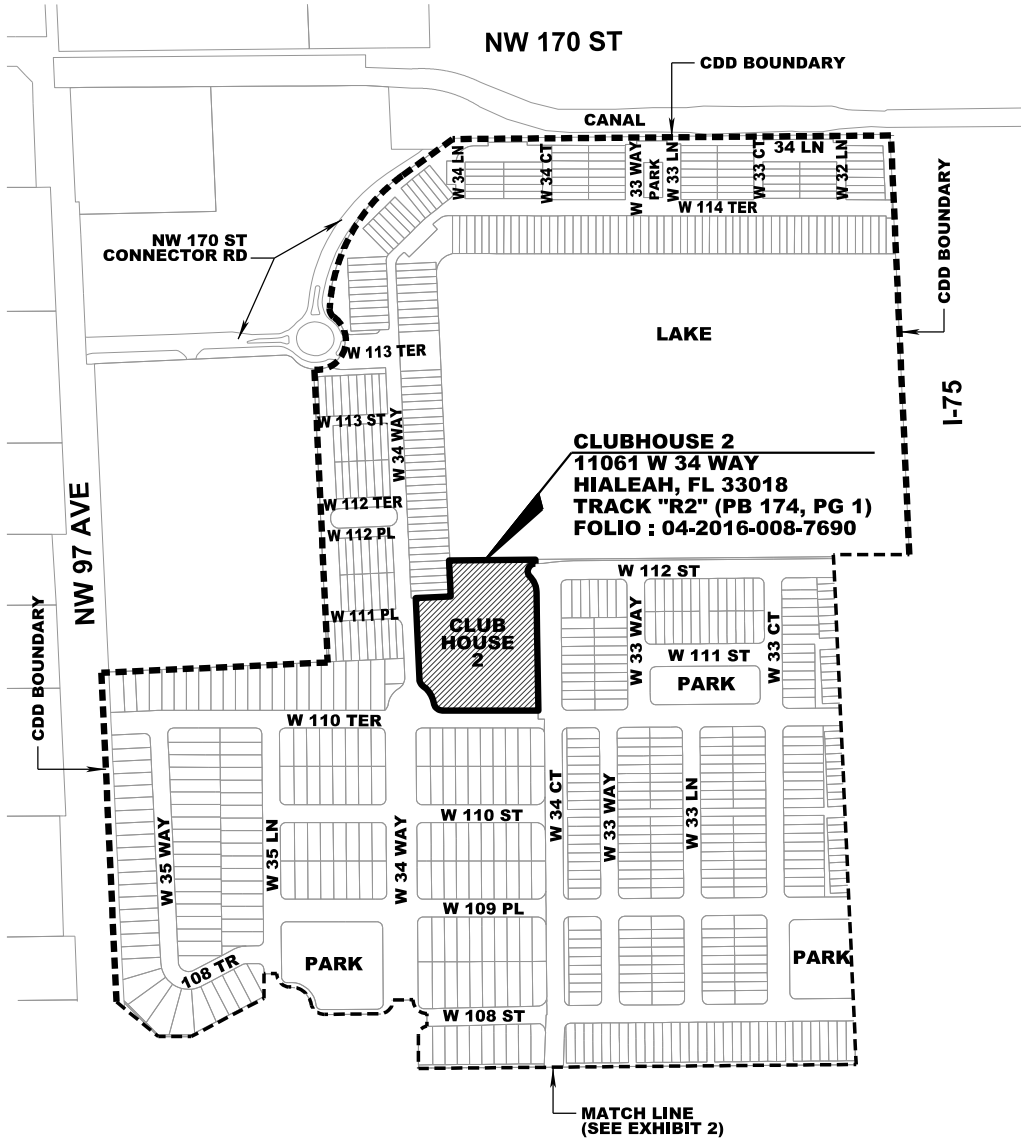


ALVAREZ ENGINEERS, INC.

TWO LAKES CDD

LOCATION OF CLUBHOUSE 1





ALVAREZ ENGINEERS, INC.
TWO LAKES CDD
LOCATION OF CLUBHOUSE 2

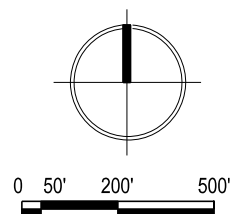


EXHIBIT 3

COPYRIGHT © 2024 PASCUAL PEREZ KILODJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
 The architectural design and detail drawings for the building and/or site are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

OCCUPANCY LOAD CALCULATIONS:
AS PER FBC TABLE 1003.1

SUPPER POOL	4500 SQ FT / 50 SF/PERSON	• 900 MAX OCCUPANT LOAD
POOL DECK 1	2800 SQ FT / 30 SF/PERSON	• 930 MAX OCCUPANT LOAD
POOL DECK 2	2800 SQ FT / 30 SF/PERSON	• 930 MAX OCCUPANT LOAD
SPA	700 SQ FT / 10 SF/PERSON	• 70 MAX OCCUPANT LOAD
KIDS AREA	1000 SQ FT / 20 SF/PERSON	• 50 MAX OCCUPANT LOAD
TOTAL MAX OCCUPANT LOAD - POOL AREA		• 3060 MAX OCCUPANT LOAD
TOTAL MAX OCCUPANT LOAD - BUILDING		• 2711 MAX OCCUPANT LOAD
TOTAL MAX OCCUPANT LOAD BUILDING AND POOL AREA		• 5771 MAX OCCUPANT LOAD

EXIT LIGHT LEGEND

EXIT LIGHT FIXTURE CEILING MOUNTED (WATER PROOFING) DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).

POOL ALARM NOTE

ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE BUILDING TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM CORRESPONDING WITH UL2011 THAT HAS A MINIMUM SOUND RATING OF 85 DB AT A 10 FEET ANY DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 5' ABOVE THE THRESHOLD OF THE ACCESS AS PER FBC 403.11.3

POOL ACCESS GATES NOTE :

WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54" FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST THREE (3") BELOW THE TOP OF THE GATE AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2" WITHIN EIGHTEEN (18) INCHES OF THE RELEASE MECHANISM USE MODEL NO. AQUALATCH AS MANUFACTURED BY AQUALATCH.

LEGEND

— ACCESSIBLE ROUTE

PARKING SPACES

CLUBHOUSE PARKING SPACES FOR RESIDENTS ONLY
 TOTAL PARKING SPACES = 50
 REGULAR PARKING SPACES = 50
 ACCESSIBLE PARKING SPACES AS PER FBC 206.2 = 3

NOTE :

FOR PLANTERS DETAILS AT POOL DECK AND COLLUM AT PERIMETER FENCE, REFER TO MP-3.

FIRE RATING EXIT TRAVEL LEGEND

● MAX TRAVEL DISTANCE TO EXIT ACCESS WITHIN DWELLING UNIT

DOOR/ GATE EXIT CAPACITY CALCULATIONS

GATE 1

EXIT WIDTH REQUIRED:
 184 PERSONS FROM POOL AND POOL DECK 1 X 0.33' EXIT WIDTH REQUIRED

EXIT WIDTH PROVIDED:
 (7) 36" WIDTH DOOR/ GATE = 32' EXIT WIDTH PROVIDED > 99.2' REQUIRED

GATE 2

EXIT WIDTH REQUIRED:
 184 PERSONS FROM POOL AND POOL DECK 1
 80 PERSONS FROM SPA AND POOL DECK 2
 275 PERSONS X 0.33' = 90.7' EXIT WIDTH REQUIRED

EXIT WIDTH PROVIDED:
 (7) 36" WIDTH DOOR/ GATE = 32' EXIT WIDTH PROVIDED > 69.7' REQUIRED

GATE 3

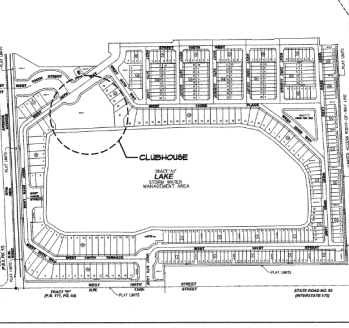
EXIT WIDTH REQUIRED:
 14 PERSONS FROM COVERED TERRACE 1
 19 PERSONS FROM COVERED TERRACE 2
 82 PERSONS FROM BUILDING
 82 PERSONS FROM KIDS AREA
 35 PERSONS FROM SPA AND POOL DECK 2
 122 PERSONS X 0.33' = 66.6' EXIT WIDTH REQUIRED

EXIT WIDTH PROVIDED:
 (7) 36" WIDTH DOOR/ GATE = 32' EXIT WIDTH PROVIDED > 66.6' REQUIRED

GATE 4

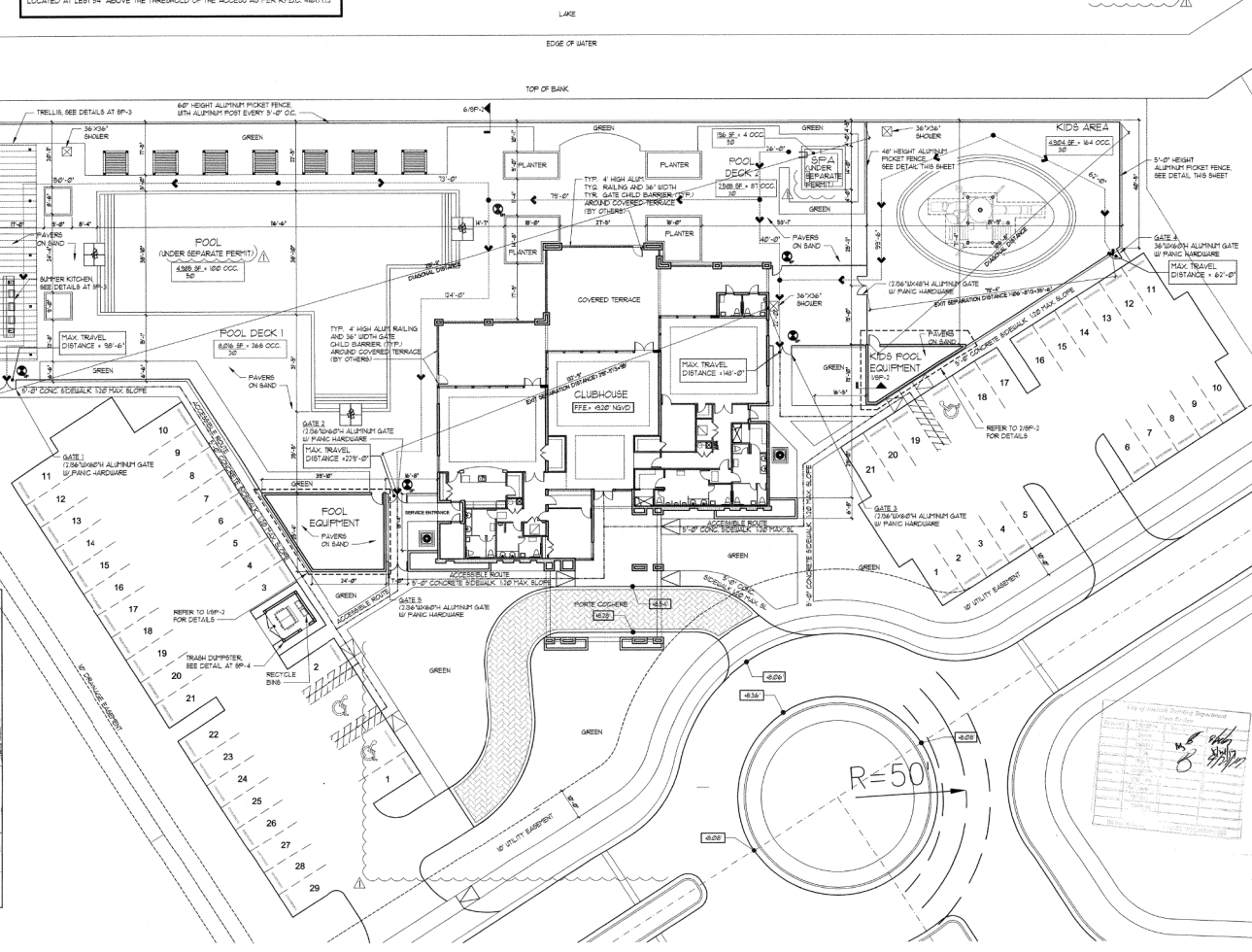
EXIT WIDTH REQUIRED:
 81 PERSONS FROM KIDS AREA X 0.33' = 26.6' EXIT WIDTH REQUIRED

EXIT WIDTH PROVIDED:
 36" WIDTH DOOR/ GATE PROVIDED > 24.6' REQUIRED



LOCATION MAP

SCALE 3/32" = 1'-0"



SITE PLAN

SCALE 1/16" = 1'-0"

PASCUAL PEREZ KILODJIAN & ASSOCIATES ARCHITECTS - PLANNERS
 EDUARDO PEREZ - AIA LICENSE NO. : AR 0019394
 MARCO P. PASCUAL - AIA LICENSE NO. : AR 0006254
 PETER KILODJIAN, R.A. LICENSE NO. : AR 0001002

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 FACSIMILE : (305) 398-6865
 http://www.ppkarch.com

OWNER:
 LENNAR HOMES
 7200 W. 125th AVENUE
 MIAMI, FLORIDA 33177
 PHONE: (305) 599-7901

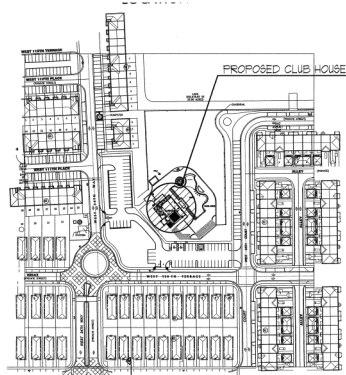
SEAL OF STATE OF FLORIDA
 REGISTERED PROFESSIONAL ARCHITECT
 PASCUAL PEREZ
 140015384

SITE PLAN
 DATE: 01-30-2017
 SCALE: AS SHOWN
 DRAWN: AC
 CHECK BY: IP
 JOB NO.: 15-06

SP-1

SHEET NO.:

ALVAREZ ENGINEERS, INC.
 TWO LAKES CDD
CLUBHOUSE 1 SITE PLAN



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION

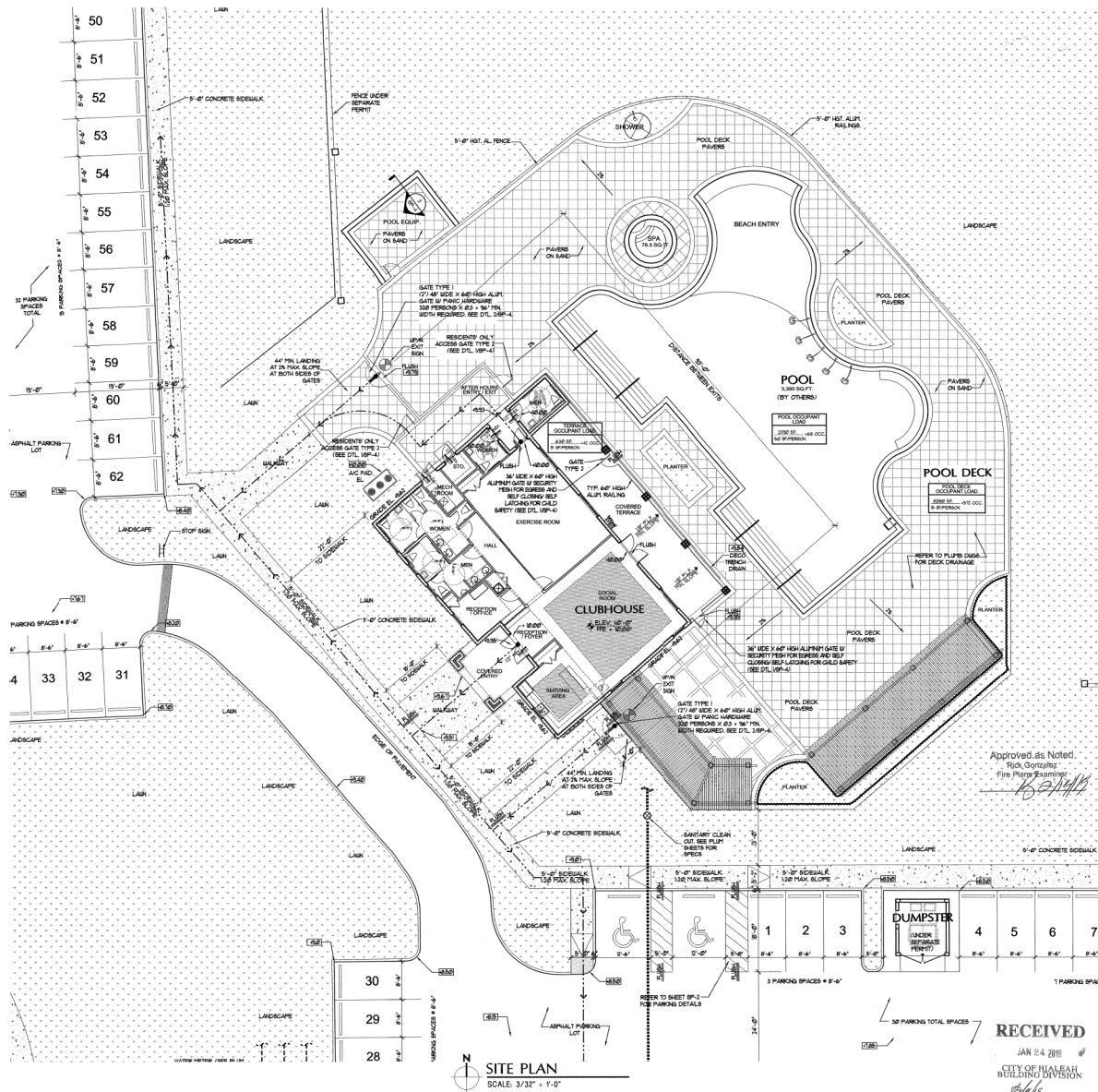
SUBDIVISION: _____ LASE COUNTY
 DEVELOPMENT NAME: AQUABELLA SECTION 3
 P. NUMBER: 2208

NOTE:
 ALL EXCAVATED MUCK SHALL BE HANDLED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN (SMP) DATED MARCH 7, 2017 AND APPROVED BY DERM ON MAY 22, 2017 & DERM CORRESPONDENCE DATED SEPTEMBER 29, 2017.

NOTE:
 ALL EXISTING CONCRETE SHALL BE REPAIRED OR RECONSTRUCTED TO ORIGINAL ELEVATION. ALL EXISTING CURBS SHALL BE REPAIRED TO ORIGINAL ELEVATION OR TO THE FINISHED GRADE OF THE ROAD. EXISTING CURBS SHALL BE REPAIRED TO ORIGINAL ELEVATION OR TO THE FINISHED GRADE OF THE ROAD. EXISTING CURBS SHALL BE REPAIRED TO ORIGINAL ELEVATION OR TO THE FINISHED GRADE OF THE ROAD.

(*) ELEVATIONS GENERAL NOTES:
 1. ELEVATIONS REFER TO NAVD 83.
 2. EXISTING FINISHED FLOOR ELEVATION (F.F.E.) SHOWN.
 3. FINISHED FLOOR ELEVATION (F.F.E.) SHOWN.
 4. FINISHED FLOOR ELEVATION (F.F.E.) SHOWN.
 5. FINISHED FLOOR ELEVATION (F.F.E.) SHOWN.
 6. FINISHED FLOOR ELEVATION (F.F.E.) SHOWN.

MIAMI - DADE COUNTY
 POLLUTION CONTROL DIVISION
 POLLUTION REMEDIATION SECTION
 APPROVED: *[Signature]*
 DATE: 11/14/14
 ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI CODE SECTION 11-10-1

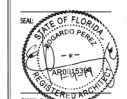


PASCUAL PEREZ KILIDDJIAN & ASSOCIATES ARCHITECTS - PLANNERS
 LICENSE # AA-5005357
 EDGARDO PEREZ - AIA LICENSE No.: AR 0075394
 MARCO P. PASCUAL - AIA LICENSE No.: AR 0008254
 PETER KILIDDJIAN, P.A. LICENSE No.: AR 0093007

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OWNER:
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 720 W. 30th AVENUE
 MIAMI, FLORIDA 33137
 PHONE: (305) 5-9-9001

AQUABELLA SECTION THREE CLUBHOUSE
 CITY OF HIALEAH, FLORIDA



CLUBHOUSE
 DATE: 06-26-2016
 SCALE: AS SHOWN
 DRAWN BY: JC
 CHECK BY: EP
 JOB NO.: 15-19

SP-1
 SHEET NO.:

ALVAREZ ENGINEERS, INC.
 TWO LAKES CDD
CLUBHOUSE 2 SITE PLAN